

COMMITTEE REPORT

APPLICATION DETAILS

APPLICATION NO:	DM/18/00692/FPA
FULL APPLICATION DESCRIPTION:	Erection of production warehouse unit & offices, new access, ancillary buildings and associated development and landscaping
NAME OF APPLICANT:	Mr D Webster
ADDRESS:	Land To The North Of 25 Copeland Row Evenwood DL14 9PY
ELECTORAL DIVISION:	Evenwood And Barony
CASE OFFICER:	Tim Burnham Senior Planning Officer 03000 263963 tim.burnham@durham.gov.uk

DESCRIPTION OF THE SITE AND PROPOSALS

1. The application site lies immediately to the north east of the existing CA Group manufacturing buildings and to the north of the terraced dwellings in Copeland Row. It currently hosts a horse gallop on a grassed field with tree planting around the perimeter, which was carried out following restoration of the site from previous opencast mining use. Land levels slope downwards from the south west to north east. Open countryside sits to the north and east.
2. The application seeks to provide a new production warehouse and offices for the CA group, which employs over 200 people and is one of the UK's leading metal roofing and cladding systems manufacturers and contractors for the industrial, commercial and public sectors. The new facilities of around 17,485 m² and associated works would enable better and more efficient working practices, thus enabling the business to remain competitive in the marketplace. The main building would have an overall height of approximately 12.5m, constructed mostly in steel cladding in a modern architectural style. A new access would be provided onto Copeland Lane, which will become the principle access to the CA site. The service yard would be located to the north east of the building. 250 additional car parking spaces are to be provided to the south of the development.
3. The application is reported to the Planning Committee as it represents major development.

PLANNING HISTORY

4. There is limited planning history in relation to the application site, most relates to its former opencast mining use. An application for advertisement consent relating to

the facility to which this application relates has been approved and this is referenced DM/18/00693/AD.

PLANNING POLICY

NATIONAL POLICY

5. The Government has consolidated all planning policy statements, guidance notes and many circulars into a single policy statement, the National Planning Policy Framework (NPPF). However, the NPPF does not change the statutory status of the development plan as the starting point for decision making. Proposed development that accords with an up-to-date Local Plan should be approved and proposed development that conflicts should be refused, unless other material considerations indicate otherwise.
6. *NPPF Part 1 - Building a strong, competitive economy.* The Government is committed to securing economic growth in order to create jobs and prosperity, building on the country's inherent strengths, and to meeting the twin challenges of global competition and of a low carbon future.
7. *NPPF Part 4 - Promoting sustainable transport.* Transport policies have an important role to play in facilitating sustainable development but also in contributing to wider sustainability and health objectives. Smarter use of technologies can reduce the need to travel. The transport system needs to be balanced in favour of sustainable transport modes, giving people a real choice about how they travel. However, the Government recognises that different policies and measures will be required in different communities and opportunities to maximise sustainable transport solutions will vary from urban to rural areas.
8. *NPPF Part 7 – Requiring Good Design.* The Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people. Planning policies and decisions should aim to ensure that developments will function well and add to the overall quality of the area, establish a strong sense of place, optimise the potential of the site to accommodate development, respond to local character and history, create safe and accessible environments and are visually attractive. Permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.
9. *NPPF Part 10 – Meeting the Challenge of Climate Change, Flooding and Coastal Change.* Planning plays a key role in helping shape places to secure Local Planning Authorities should adopt proactive strategies to mitigate and adapt to climate change. Inappropriate development in areas at risk of flooding should be avoided.
10. *NPPF Part 11 – Conserving and Enhancing the Natural Environment.* The Planning System should contribute to and enhance the natural and local environment by protecting and enhancing valued landscapes, geological conservation interests, recognising the wider benefits of ecosystems, minimising the impacts on biodiversity, preventing both new and existing development from contributing to or being put at unacceptable risk from pollution and land stability and remediating contaminated or other degraded land where appropriate.

The above represents a summary of those policies considered most relevant in the Development Plan

LOCAL PLAN POLICY:

11. The following policies of the Teesdale Local Plan are relevant to the application; however, in accordance with paragraph 215 of the National Planning Policy Framework, the weight to be attached to relevant saved local plan policies will depend upon the degree of consistency with the NPPF. The greater the consistency, the greater the weight.
12. *Policy GD1: General Development Criteria:* All new development and redevelopment within the district should contribute to the quality and built environment of the surrounding area and includes a number of criteria in respect of impact on the character and appearance of the surrounding area; avoiding conflict with adjoining uses; and highways impacts.
13. *Policy ENV1: Protection Of The Countryside:* Within the countryside development will be permitted for the purposes of agriculture, rural diversification projects, forestry, nature conservation, tourism, recreation, local infrastructure needs and an existing countryside use where there is a need on the particular site involved and where a proposal conforms with other policies of the plan. To be acceptable proposals will need to show that they do not unreasonably harm the landscape and wildlife resources of the area.
14. *Policy ECON2: Extensions to Industrial Estates:* Extensions to existing business premises and Industrial estates will be permitted where all the following criteria are satisfied A) it does not have an adverse effect on the amenity of local residents B) it does not have an adverse effect on the environmental quality of the area C) submitted details are acceptable in terms of access, layout and design; and the development is in accordance with all other Local Plan policies.
15. *Policy ECON5: Industry in the Countryside:* Outside the development limits of settlements shown on inset maps and outside land allocated as industrial sites, permission will not be given for industry/business use unless it involves the conversion of a sound rural building complying and provided it does not have an unreasonable adverse effect on the environment or amenity of local residents; and subject to complying with the criteria of Policy GD1, where relevant.

The above represents a summary of those policies considered most relevant in the Development Plan the full text, criteria, and justifications of each may be accessed at <http://www.durham.gov.uk/article/3271/Teesdale-Local-Plan>

RELEVANT EMERGING POLICY:

The County Durham Plan -

16. Paragraph 216 of the NPPF says that decision-takers may give weight to relevant policies in emerging plans according to: the stage of the emerging plan; the extent to which there are unresolved objections to relevant policies; and, the degree of consistency of the policies in the emerging plan to the policies in the NPPF. The County Durham Plan was submitted for Examination in Public and a stage 1 Examination concluded. An Interim Report was issued by an Inspector dated 15 February 2015, however that report was quashed by the High Court following a successful Judicial Review challenge by the Council. As part of the High Court

Order, the Council has withdrawn the CDP from examination. In the light of this, policies of the CDP can no longer carry any weight.

CONSULTATION AND PUBLICITY RESPONSES

STATUTORY RESPONSES:

17. *Highway Authority*: No objections, but conditions should be included relating to the closure of the Copeland Road access to the existing site and the provision of 3no. electric vehicle charging points at the new premises.
18. *Northumbrian Water*: No objections provided the development is carried out in strict accordance with the submitted documents entitled "Drainage Layout Plan" and "Drainage Design". Foul water shall discharge to the existing public sewer network via a connection to manhole 9201 and the surface water shall discharge to the watercourse.
19. *Coal Authority*: No objections. The Coal Authority considers that the content and conclusions of the Desk Study and Coal Mining Risk Report (July 2018, prepared by Discovery CE Ltd) are sufficient for the purposes of the planning system and meet the requirements of the NPPF in demonstrating that the application site is, or can be made, safe and stable for the proposed development. Further more detailed consideration of ground conditions and/or foundation design may be required as part of any subsequent building regulations application.

INTERNAL CONSULTEE RESPONSES:

20. *Drainage and Coastal Protection*: No objection. The amended proposed design demonstrates compliance with National Standards and Council Policies in providing sustainable solutions to surface water management, and ensuring the prevention of flood risk to and from the proposed development.
21. *Landscape and Trees*: No objections, some young woodland and tree belt would be removed but these are not of high sensitivity due to their age. New structure planting is proposed. A detailed landscape scheme is required via condition. Palisade fencing should ideally be placed behind planting adjacent to Copeland Lane.
22. *Design and Conservation*: No objection, there will be no direct impact on designated assets or on the setting of such within a reasonable distance from the site boundary.
23. *Environmental Health (Noise)*: The information submitted demonstrates that the application complies with the thresholds stated within the TANS. This would indicate that the development will not lead to an adverse impact. The development relates to a noise generating development, associated with external plant, vehicle including HGVS and forklift movements and noise break out from internal operations. The noise assessment demonstrates that the noise arising from the proposed development is unlikely to amount to a statutory nuisance. However this is based on the existing planned operation only and a number of uncertainties. Considering the low background noise level and 24hr operation there is the potential that should the operation intensify, especially during night-time hours, then impacts could arise so as to be a statutory nuisance. As such, a condition is recommended which would serve to limit any noise impact from the site requiring

adherence to specified noise levels and the submission of a validation assessment.

24. *Contaminated Land*: No objection, contaminated land condition is required relating to gas protection measures.
25. *Ecology*: No objection, there would be no significant impact on wildlife resources in the area. The application would result in a loss of biodiversity but this could be offset by the provision within the site of 2.56 ha. semi-improved neutral grassland, 0.17 ha wetland and 0.76 ha scattered scrub woodland along with an associated management plan.
26. *Sustainability*: Recommend condition for a Travel Plan.
27. *Spatial Policy*: No objections.
28. *Public Rights of Way*: No objections. Public footpath no. 14, Evenwood and Barony is directly adjacent to the north east site boundary and should remain unaffected by the proposal.
29. *Archaeology*: No objection. Historic Maps and the geotechnical report show this area to have been heavily disturbed by mining.

PUBLIC RESPONSES:

30. The application has been publicised by way of press and site notice and neighbour notification letters. Two letters of objection have been received from residents on Copeland Row. Concerns are raised about noise from HGV traffic.

The above is not intended to repeat every point made and represents a summary of the comments received on this application. The full written text is available for inspection on the application file which can be viewed at <https://publicaccess.durham.gov.uk/online-applications/>

APPLICANTS STATEMENT:

31. The application is made following extensive pre-application discussions with officers of the Council with regard to detailed matters such as siting, noise, design and traffic safety. Accordingly the development before the planning committee addresses all planning matters and is fully compliant with the Development Plan and NPPF.
32. A great deal of effort has gone into the design process to arrive at what will be an exemplary and extremely high quality development which will raise the profile of both the company and the locality, bringing about great economic gain for the area as well as retaining long term, secure and high quality job opportunities for local people.
33. The aim of the development proposed is to improve efficiency, making the company more competitive in the market place. This progression is essential to the survival of the business, and ensures it continues to win the best contracts and maintains standing in the sector. This is important to the survival and success of the company, and all of the benefits and employment it brings to Evenwood and the surrounding areas. In designing the development however, special care has been taken to ensure that neighbours are protected, and in fact the changes

proposed will take noise emissions and traffic movements further away from them, thus improving their living conditions.

34. CA Group originated in Evenwood in 1983. Its Directors are loyal and some local to the area. It should be noted that Evenwood is not a geographically practical location for the business. However, the company places great emphasis and importance on the history of its foundation, growth, and the location of its excellent and loyal workforce. In fact it is also for this reason the business is held within an Employee Benefit Trust, encouraging staff retention and benefit to the local area. It is hoped that this will give Members of the Planning Committee some confidence that the business has local interests at the heart of its core values.

PLANNING CONSIDERATIONS AND ASSESSMENT

35. Having regard to the requirements of Section 38(6) of the Planning and Compulsory Purchase Act 2004 the relevant Development Plan policies, relevant guidance and all other material planning considerations, including representations received, it is considered that the main planning issues in this instance relate to the impact on the character and appearance of the area, residential amenity and highways.

Policy context

36. One of the core aims of the NPPF is to proactively drive and support sustainable economic development. Paragraph 19 advises that significant weight should be placed on the need to support economic growth through the planning system.
37. Paragraph 14 states that at the heart of the NPPF is a presumption in favour of sustainable development. It states that development that accords with the development plan shall be approved without delay and where relevant development plan policies are out of date, permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits or where specific NPPF policies indicate development should be restricted.
38. Because of the age of the Teesdale Local Plan its relevant policies on Employment (ECON2 and ECON5 in this case) are considered out of date insofar as they relate to the supply of industrial land. In light of this, the application is therefore to be considered against the planning balance test outlined in NPPF Paragraph 14. This means granting planning permission unless any adverse impacts would significantly and demonstrably outweigh the benefits, or specific policies in the NPPF indicate that development should be restricted. The main considerations in this respect are detailed below.

Impact on the character and appearance of the area

39. The development would be located on land which has been restored from former opencast mining use, immediately to the north east of the existing premises on the edge of Evenwood. Although within the countryside, the site is not covered by any local or national landscape designations, is not in productive agricultural use and makes a neutral contribution to the character of the area.
40. There would be public visibility of the development from Copeland Lane and from the public right of way to the east of the site. The scale of the development is large,

but it would be seen in the context of the existing CA site and the height of the main building would be commensurate with the existing manufacturing buildings. It would have been preferable to set the south eastern boundary fence behind planting adjacent to Copeland Lane, but this has not been possible due to operational requirements of the business.

41. The overall design is well considered and with the benefit of an extensive landscaping scheme, it should sit comfortably in its context without causing harm to the character and appearance of the area.
42. There is no conflict with the design objectives of NPPF Parts 7 and 11 and Teesdale Local Plan Policies GD1 and ENV10.

Impact on residential amenity

43. The nearest residential properties lie to the south of the site on Copeland Row and two letters of objection have been received from residents raising concern in relation to additional late night HGV noise over and above that which they suggest is experienced in association with the existing CA Group site.
44. The existing service yard where HGV's operate is located approximately 150 mtrs to the rear of Copeland Row. It is not currently shielded by any building and therefore there is potential given the nature of operations at the site for some noise transference. It is however noted that the Environmental Health Noise Action Team do not have any recorded complaints relating to any existing night time HGV noise.
45. The proposed site has been laid out so that the main service yard would now be located beyond the north eastern elevation of the proposed building, at the furthest point possible from the residential properties. As a result, the nearest property on Copeland Row would be over 200mtrs away from the nearest corner of the service yard, which is 50m further away than the existing arrangement. Furthermore, the new building, particularly given its substantial size and modern construction with good levels of insulation, is likely to act as a barrier to noise transference. In addition, most of the plant has been kept as far away as possible from sensitive receptors and by locating all processes within one building it would help to minimise fork-lift truck movements. The new entry point further east on Copeland Lane would mean that the majority of HGV's will not need to pass Copeland Terrace.
46. The Environmental Health Noise Action Team have nevertheless recommended a precautionary condition, which would restrict the noise that can be emitted from the site and which requests a validation check following the first use of the development. Whilst their comments are made in reference to statutory nuisance it is recognised that there can still be harm to residential amenity before it reaches statutory nuisance levels. However, the NPPG guidance on the use of conditions states that when used properly, conditions can enable development proposals to proceed where it would otherwise have been necessary to refuse planning permission, by mitigating the adverse effects of the development. It has not been suggested by Environmental Health, or in the findings of the noise assessment, that the impacts of the development are such that there will be harmful noise impacts to the extent where permission should be refused if not mitigated. The existing operations are not subject to any restrictive conditions and have not resulted in formal noise complaints. As noted above, the new service yard and access arrangements would be further away from the existing residential properties than at present and there would be efficiencies in vehicle movements on the site. It is therefore considered that the placing of restrictive conditions and a

requirement to carry out further noise assessment do not meet the tests of necessity to allow the development to proceed, and runs contrary to the NPPF, which advises against placing unreasonable burdens and restrictions on businesses wanting to develop.

47. Taking all the above into account, it is considered that the proposal has paid sufficient regard to noise impact and there is not likely to be any significant noise and disturbance impacts. There is no conflict with Teesdale Local Plan Policy GD1 or NPPF Part 11.

Highways

48. The replacement production facility includes the construction of a new site access and bell mouth junction with two approach lanes leading to a manned gatehouse. It also includes additional parking facilities.
49. The new access would have improved visibility and would also lead to less HGV movement along the front of Copeland Terrace. Furthermore, the new bell mouth arrangement is designed to allow HGV's to be able to pull off the highway before being processed through the entrance, which is not always the case at the existing access. Once the new facility is operational, the existing access would be closed off through locked gates and used only for emergency access.
50. The Highways Authority have confirmed that the new access is acceptable in terms of Highway safety and there is sufficient parking provision within the site.
51. There is no conflict with NPPF Part 4 or Teesdale Local Plan Policy GD1.

Other Issues

52. The submitted ecological appraisal does not identify any significant impact on ecology interests within the site. There would be some net loss of biodiversity on the site, but this would be offset by the provision within the site of 2.56 ha. Semi-improved neutral grassland, 0.17 ha wetland and 0.76 ha scattered scrub woodland in association with a management plan. There is no objection from the Ecology Section and the measures can be secured by conditions.
53. The Council's Drainage Section and Northumbrian Water have agreed to a drainage scheme to separate surface and foul water discharge, which can be secured by a condition.
54. The Contaminated Land Section have requested further details in relation to gas protection measures because of the historic land use, but this can be adequately dealt with by condition.
55. The Sustainability Section has suggested a condition for a Travel Plan to be prepared. However, the application does not propose a net increase in employment at the site. It is therefore difficult to justify any request for a travel plan when the development would not itself put any significant additional pressure on local transport networks, or parking provision, which is well catered for within the site. Evenwood is a medium sized village with reasonable public transport access and the site is well placed for employees to access the public transport service. Such a condition would therefore fail the tests of necessity. It is also noted that the development would be sustainable in other ways with electric vehicle charging points on site and through best practice energy efficiency measures in construction, including solar wall cladding and air source heat pumps which would

result in a significant reduction in regulated energy consumption and CO₂ emissions of 30.5% and 22.4% respectively.

CONCLUSION

56. The NPPF states that to achieve sustainable development, economic, social and environmental gains should be sought jointly and simultaneously.
57. The proposal represents a significant investment in the future of the CA Group in Evenwood, securing a large number of local jobs, developing local skills and bringing benefits to other local companies within the supply chain, as well as during the construction phase. This is wholly in accordance with the NPPF core planning principles and aims of Part 1 to secure economic growth. These substantial economic and social gains are given significant weight in the consideration of the application.
58. In environmental terms the site is not sensitive in landscape or ecology terms and whilst there would be a significant change in the character of the site, it would not be harmful. Landscaping and habitat creation would compensate appropriately for that lost through the development. The proposal has been well considered in its layout, access and servicing arrangements to avoid conflict with nearby residential properties. It is also acceptable in highway safety and drainage terms. These are mostly neutral impacts, although there would be some improvements to existing access and servicing arrangements.
59. Having considered all matters, there are no adverse impacts that would significantly and demonstrably outweigh the benefits of the proposal when assessed against the policies of the NPPF as a whole, and there are no specific policies in the NPPF that indicate development should be restricted. The proposal therefore benefits from the presumption in favour of sustainable development.

RECOMMENDATION

That the application be **APPROVED** subject to the following conditions;

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990 as amended by the Planning and Compulsory Purchase Act 2004.

2. The development hereby approved shall be carried out in strict accordance with the following approved plans and documents.

Site Sections P104 rec 06th March 2018”
Elevations P105”
Office Sections P106”
Production Warehouse Ground Floor Plan P107”
Production Warehouse Offices Roof Plan P108”
Office Floor Plans P109”
Gatehouse Plans and Elevations P110”

Signage and Display Panels P111”
External Store Buildings P112”
Swept Path Drawing”
Site Levels DR-C P600”
Drainage Catchment Area DR-C-P305”
External Lighting Layout E500 - P2”
Baseline Lighting Survey NJD Environmental Associates”
Design and Access Statement”
Coal Mining Assessment Discovery CE Limited”
External Lighting Impact Assessment Rev P2”
Flood Risk Assessment by BE Design”
Planning Design and Access Statement”
Construction Management Plan Goodrich Consulting LLP”
Sustainability Statement Rev P2”
Transport Statement by BE Design”
Utility Report Rev P1”
Environmental Noise Assessment SGS Ltd”
Location Site Plan P102 REV L rec 25th April 2018
Site Plan 17-075 P103 REV L”
Drainage Layout - ref: NWK 170064-BED00-00-DR-C-P300 Rev A
Drainage design Philosophy – Ref: NWK 170064 REV A rec 25th April 2018
Cycle Shelter Detail rec 02nd May 2018
Preliminary Ecological Appraisal, Middlemarch Environmental December 2017 and addendum report May 2018 rec. 06th March & 14th May 2018.

Reason: To define the consent and ensure that a satisfactory form of development is obtained in accordance with NPPF Parts 1, 4, 7, 10 and 11 and Teesdale Local Plan Policies GD1, ENV1, ECON2 and ECON5.

3. No development shall commence until a pre-commencement scheme to deal with contamination has been submitted to and agreed in writing with the Local Planning Authority. The full scheme, both pre-commencement and completion shall include the following, unless the Local Planning Authority confirms in writing that any part of sub-sections a, b or c are not required.

Throughout both the pre-commencement and completion phases of the development all documents submitted relating to Phases 3 to 4 as detailed below shall be carried out by competent person(s) and shall be submitted to and agreed in writing with the Local Planning Authority.

Pre-Commencement

(a) A Phase 3 Remediation Strategy detailing the proposed remediation and verification works is required. As gas protection measures are required a verification plan is required detailing the gas protection measures to be installed, the inspection regime and where necessary integrity testing programme. The installation of the gas membrane should be carried out by an appropriately qualified workforce and the verification of the installation should be carried out by an appropriately competent, experience and suitably trained person(s) (preferably independent to the installer) to ensure mitigation of the risk to the buildings and the people who occupy them. No alterations to the remediation proposals shall be carried out without the prior written agreement of the Local Planning Authority.

Completion

(b) During the implementation of the remedial works and/or development if any contamination is identified that has not been identified pre-commencement, it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment shall be carried out in accordance with part b of the condition and where necessary a Phase 3 Remediation Strategy shall be prepared in accordance with part c of the condition. The development shall be completed in accordance with any amended specification of works.

(c) Upon completion of the remedial works, a Phase 4 Verification Report (Validation Report) confirming the objectives, methods, results and effectiveness of all remediation works detailed in the Phase 3 Remediation Strategy shall be submitted to and agreed in writing with the Local Planning Authority within 2 months of completion of the development. If integrity testing of the membrane(s) was required a verification pro forma should be included.

Reason: The site may be contaminated as a result of past or current uses and/or is within 250m of a site which has been landfilled and the Local Planning Authority wishes to ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems in accordance with NPPF Part 11.

4. The development shall be implemented in accordance with the drainage scheme contained within the submitted documents entitled "Drainage Layout Plan" and "Drainage Design" dated "28th February 2018". The drainage scheme shall ensure that foul flows discharge to the combined sewer at manhole 9201 and ensure that surface water discharges to the existing watercourse.

Reason: To prevent the increased risk of flooding from any sources in accordance with the NPPF.

5. Within 6 months of the first use of the development, the existing western vehicle access shall be closed and gated and shall thereafter be used only for access by emergency vehicles.

Reason: In the interests of highway safety having regards to Policy GD1 of the Teesdale Local Plan.

6. A minimum of 3 electric vehicle charging points shall be provided within the site prior to first use of the development hereby approved and shall thereafter be available for use at the site for the lifetime of the development.

Reason: In the interests of assisting in the use of sustainable transport methods in line with the NPPF.

7. Other than preparatory ground works, or investigations, no development shall commence until a detailed landscaping scheme to include but not limited to details of trees to be retained and provision on the site of semi-improved neutral grassland, wetland and woodland, as detailed within Middlemarch addendum report, along with an associated plan for its management in perpetuity, has been submitted to and approved in writing by the Local Planning Authority. The scheme of landscaping shall include details of planting species, sizes, layout, and numbers of planting.

Reason: In the interests of visual amenity having regards to Policy GD1 of the Teesdale Local Plan.

8. All works in the approved details of landscaping shall be carried out in the first available planting season following the first use of the development and any trees or plants which die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species. Replacements shall be subject to the same requirements.

Reason: In the interests of visual amenity having regards to Policy GD1 of the Teesdale Local Plan.

9. Other than preparatory ground works, or investigations, no development shall commence until all trees scheduled for retention in the approved landscaping details have been protected by the erection of fencing that complies with BS 5837 (Trees in relation to design, demolition and construction – recommendations). The tree protection shall be retained throughout the construction period unless otherwise agreed in writing by the local planning authority.

Reason: To protect the boundary trees and hedges from construction damage in the interests of visual amenity in accordance with Teesdale Local Plan Policy GD1.

10. The development shall take place in accordance with the avoidance and mitigation strategy detailed within Preliminary Ecological Appraisal, Middlemarch Environmental December 2017 and addendum report May 2018.

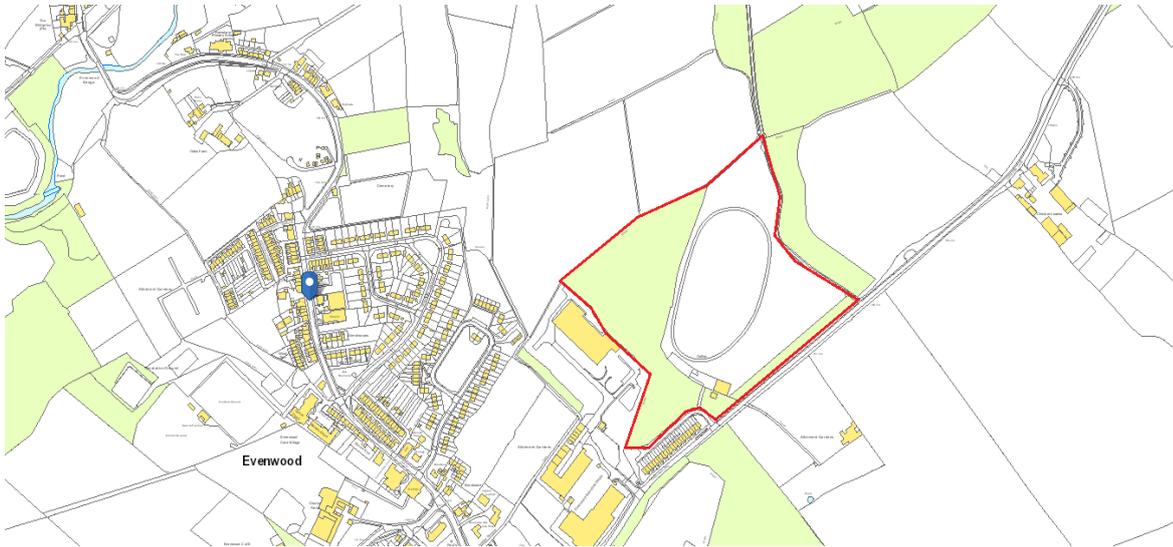
Reason: To ensure no net loss in biodiversity in accordance with Policy ENV8 of the Teesdale Local Plan and NPPF Part 11.

STATEMENT OF PROACTIVE ENGAGEMENT

In arriving at the decision to recommend approval of the application the Local Planning Authority has assessed the proposal against the NPPF and the Development Plan in the most efficient way within the advised timescale to ensure a positive outcome through appropriate and proportionate engagement with the applicant, and carefully weighing up the representations received to deliver an acceptable development.

BACKGROUND PAPERS

Submitted application form, plans supporting documents
The National Planning Policy Framework (2012)
National Planning Practice Guidance Notes
Teesdale Local Plan
All consultation responses received



Planning Services

Production warehouse unit & offices,
access, ancillary buildings and
associated development and
landscaping

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05th June 2018